

ACCESS PLANNING REVIEW REPORT

PROJECT NAME: **Newcastle Art Gallery Expansion**
PROJECT ADDRESS: 1 Laman Street, Cook Hill NSW 2300 Australia, City of Newcastle
PROJECT STAGE: S4.55 Application
PROJECT NO: **GDL200261**
PREPARED FOR: Smith & Tzannes
DATE: **27.04.2021**

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TABLE OF CONTENTS

1.0	EXECUTIVE SUMMARY		4
2.0	INTRODUCTION		7
	2.1	Report Purpose	7
	2.2	Reporting Team	7
	2.3	Legislative Requirements	7
	2.4	Additional Design Guidelines	9
	2.5	Limitations	10
3.0	PROJECT PARTICULARS		11
	3.1	Building Site	11
	3.2	Building Description	12
	3.3	Areas required to be accessible under the BCA/Access Code	13
	3.4	Documentation Assessed	13
4.0	ACCESSIBILITY ASSESSMENT		14
	4.1	Site Linkages & Landscape Areas	14
	4.2	Access to the Building	14
	4.3	Accessible Car Parking	16
	4.4	Existing Building- Affected Part Provisions	16
	4.5	Building Entrances	18
	4.6	Emergency Egress	19
	4.7	Access Within Buildings – Paths of Travel & Circulation Requirements	20
	4.8	Paths of Travel – Accessible Floor Surface Requirements	21
	4.9	Paths of Travel – Accessible Door Requirements	22
	4.10	Exemptions – Areas not Required to be Accessible	22
	4.11	Passenger Lifts	23
	4.12	Walkways	24
	4.13	Ramps	25
	4.14	Stairs	26
	4.15	Escalators & Moving Walkways	27
	4.16	Accessible Sanitary Facilities & Showers	27
	4.17	Ambulant Sanitary Facilities	28
	4.18	Accessible Adult Change Facilities/'Changing Places' Facility	29
	4.19	Wheelchair Seating Spaces	30
	4.20	Signage	31
	4.21	Hearing Augmentation	32
5.0	POTENTIAL PERFORMANCE SOLUTION SUMMARY LIST		34

REVISION HISTORY


Revision	Date	Details	Authorised	
			Name/Position	Signature
A	26 th of February 2021	Draft S4.55 Report	Prepared: Yolanda Wang Accessibility Consultant ACAA No. 600	=
			Reviewed: Elisa Moechtar Manager, Access Consultancy ACAA No. 198	=
B	27 th of April 2021	Final Report for Review	Prepared: Yolanda Wang Accessibility Consultant ACAA No. 600	=
			Reviewed: Elisa Moechtar Manager, Access Consultancy ACAA No. 198	=
C	27 th of April 2021	Final Access Report	Prepared: Yolanda Wang Accessibility Consultant ACAA No. 600	

Table 1 – Revision History

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1.0 EXECUTIVE SUMMARY

This Preliminary Access Report has been prepared for the proposed development known as the Newcastle Art Gallery Expansion located at 1 Laman St, Cooks Hill, NSW 2300 at S4.55 Application Stage.

The Report provides an accessibility compliance assessment of design documentation against the Disability (Access to Premises – Buildings) Amendment 2020 Standards (Premises Standards), the access provisions of Volume 1 of the Building Code of Australia 2019 (BCA) and referenced Australian Standards (AS) and the objectives of the Disability Discrimination Act 1992 (DDA) to ensure reasonable access provisions for people with disability.

In our opinion, with ongoing detailing of the access provisions, design requirements and recommendations outlined within Section 4.0 Accessibility Assessment of this Report, the proposed design is capable of compliance with the statutory accessibility legislation outlined above. This will be achieved through a combination of compliance with the deemed to satisfy (DtS) provisions and/or the Performance Requirements of the BCA, as required.

Further development and refinement of the detailed design, such as internal fit-out design and details of stairs, walkways/ramps, lifts, sanitary facilities and other access facilities and features will be included within future construction documentation and assessed prior to Construction Certificate Stage.

PLANNING: The following items in Table 2 below have been noted as items of interest at this stage of the review. The items that have been considered non-compliant require further review against the detailed design, or where noted, may be able to be justified as an Access Performance Solution:

No.	Item	Query or DtS Non-Compliance	Suggested Resolution	Reference Clause	BCA Performance Requirement
1.	Door clearance	The principal entrance sliding door of the Café has inadequate latch side clearance.	395mm latch side clearance is required for the principal entrance of the café for ease of access.	D3.2	DP1
2.	Internal stairway	The stairways between the existing gallery B and the central gallery in particular requires further attention given its centralised location and potential traffic during gallery viewing hours and public holidays.	The stairway is to set back 400mm min. from side wall to accommodate handrail extensions and the provision of the tactiles.	D3.3	DP1
3.	Passenger lift	<p>“Affected Part” provision in relation to the existing lift located adjacent to the Existing Gallery B foyer.</p> <p>It understood that the client has agreed to replace the existing lift with a new and fully compliant passenger lift to be used for both communication between floors and transporting art works between floors.</p>	<p>The following information is to be provided for further assessment as project develops:</p> <ul style="list-style-type: none"> Lift specification Given the due function of the passenger lift for both communication and transportation, it is 	E3.6	EP3.4

No.	Item	Query or DtS Non-Compliance	Suggested Resolution	Reference Clause	BCA Performance Requirement
		The current lift shaft may require modification to accommodate the installation of the new lift.	recommended that the lift car is to be 1400mm (W) x 1600mm (L) as a minimum (DDA/Advisory).		
4.	Ambulant toilets located adjacent to the South entrance foyer opposite the lockers	a) The 900mm x 900mm circulation space appears to be inadequate between the door swing outside of the female cubicle. b) The length of the partition installed in the male cubicle appears to be inadequate to accommodate both the projection of the pan and position of the grabrail.	The following information is to be provided for further assessment prior to CC submission: <ul style="list-style-type: none"> Clear space of 900mm x 900mm external to the cubicle, clear of the door swing (female). Please refer to the Section 4.17 below for details in relation to the partition length in the male cubicle. 	F2.4	FP2.1

Table 2 – DtS Non-Compliances
Note:

- The above non-compliances are not a full list of all access non-compliances for the building. The Report as a whole, and the associated Markup Drawings, need to be reviewed by the design team to obtain an understanding of all accessibility issues to be addressed during design development and detailing stage.

In order to confirm the design complies with the accessibility provisions of the BCA and DDA Premises Standards, the following items listed in Table 3 below are required to be clarified, submitted, illustrated, etc, during design development and detailing stage:

No.	Item	Comment	BCA Clause
A	Ramp, Walkway & Stair Details	1:20 or 1:50 details of proposed ramps, walkways & stairs are required for further assessment. The details are to include compliant dimensioning of all relevant components, i.e. gradients, lengths, unobstructed widths between handrails on both sides, landings (1200mm minimum if no turning), turning bays (1540 x 2070 minimum), handrails (diameter of min 30-50 mm clearances, etc.) kerb-rails/edge protection, steps (riser and goings, etc).	D3.3

No.	Item	Comment	BCA Clause
B	Sanitary Facilities Wet Area Details & Sanitary Fixtures Schedules	<p>1:20 or 1:50 plans, elevations/details of the proposed sanitary facilities (accessible WC/shower & WC/shower & ambulant toilets) will be required for further assessment.</p> <p>The details are to include compliant dimensioning of all circulation area requirements, set outs of sanitary fixtures etc to comply with AS1428.1:2009.</p>	F2.4
C	Passenger Lift Details & Confirmation on Lift management/use	<p>Detailed lift plans, elevations, lift type & specification for the proposed passenger lifts will be required for assessment as the design progresses.</p> <p>The details are to include compliant dimensioning of lift car circulation area requirements, inclusion & set outs of access features, handrail, lift call/controls etc to comply with BCA E3.6 & AS1735.12.</p>	E3.6
D	Hearing Augmentation System/s	Further details of areas, such as exhibition spaces, gallery, and reception counter where inbuilt amplification is proposed (not solely for emergency warning) within new works/building areas will be required for assessment as the design progresses.	D3.7
E	Signage Strategy	Signage Schedule to be provided during design development, compliant with AS1428.1, CI 8 & BCA E3.6 & Specification D3.6.	D3.6
F	BCA D3.4 Exempt Areas	Formal advice & documentation on any areas seeking BCA D3.4 exemption (subject to Certifying Authority approval) is to be provided for assessment as the design progresses	D3.4

Table 3 – Request for Further Information

2.0 INTRODUCTION

2.1 Report Purpose

The purpose of this Report is to assess the compliance of the proposed development known as the Newcastle Art Gallery Expansion, located at 1 Laman St, Cooks Hill, NSW, 2300 against the access requirements of the Disability (Access to Premises – Buildings) Amendment 2020 Standards (Premises Standards), the access provisions of Volume 1 of the Building Code of Australia 2019 (BCA) and referenced Australian Standards (AS) and the objectives of the Disability Discrimination Act 1992 (DDA) to ensure reasonable access provisions for people with disability.

The Report has been prepared for development approval to review and document the access provisions and requirements of the proposed development with a compliance strategy to ensure that the design is capable of compliance with access regulations.

The Report is based on assessment of the documentation listed in Table 6 and the information provided by the client and is intended for their use only.

It is to be noted that the design assessment has been made of the general access planning provisions to the extent necessary for submitting a DA. Further assessment of detailed architectural documentation is recommended, following design development and detailing, to ensure access compliance at the Construction Certificate Stage.

2.2 Reporting Team

The information contained within this Report was prepared by Jennifer Wright, ACAA Affiliate No. 602 and reviewed by Elisa Moehtar, ACAA Accredited Access Consultant (No. 198) from Group DLA Access.

2.3 Legislative Requirements

The assessment has considered the following legislation and referenced access standards:

- Disability Discrimination Act 1992 (DDA)
- Disability Access to Premises Standards 2010 (Premises Standards), including Access Code
- Building Code of Australia (BCA 2019) – Part D3, Part E3.6, F2.4.
- Applicable Australian Standards: AS1428.1-2009, AS1428.4.1-2009, AS1735.12-1999, AS1428.2-1992 (enhanced features)

The following table summarises the key statutory issues relating to the BCA access provisions and the DDA Premises Standards in relation the assessment and certification of new buildings.

Issue	Legislative Reference	Comment
New Work	BCA (EPAR 145)	All new works must comply
DDA Access to Premises	Disability (Access to Premises – Buildings) Amendment Standards 2020 - DAPS	Upgrade of the “Affected Part” of existing building/s to provide access for people with disabilities - triggered by new work requiring Building Approval and Crown development.
Potential DDA Complaints	Disability Discrimination Act (DDA)	Regardless of any new works, the existing development is subject to the Disability Discrimination Act 1992 (DDA) which applies nationally and is a complaints-based legislation administered by the Australian Human Rights

		Commission (AHRC). The client has the right and responsibility to make a risk assessment on the implementation of the extent of access compliance and consider this within any future building upgrade strategy.
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Table 4 – Access Regulatory Framework Summary

A summary outline of these key reference documents is included below:

- The **DDA** objectives focus on the provision of equitable, independent, and dignified access to services, facilities and premises for people with mobility, sensory and cognitive disability. The DDA makes it is unlawful to discriminate against people on the grounds of disability.

“Premises” is broadly defined under the DDA, Section 23 to include not only buildings but many other aspects of the built environment, including streetscapes and open space areas as well as non-building elements like furniture, fixtures and fittings. The DDA covers existing buildings, including heritage buildings, those under construction and future premises. The DDA applies nationally and is a complaints-based legislation administered by the Australian Human Rights Commission (AHRC).

- The **Premises Standards** is a statutory instrument made under the DDA to outline how DDA obligations can be met for new building work. Its purpose is to ensure that dignified, equitable, cost-effective and reasonably achievable access to buildings and facilities, and services within buildings, is provided for people with disability and to give certainty to the people responsible for compliance that if the Standards are met, that they cannot be subject to a successful complaint under the DDA in relation to the matters covered by the Standards.

The Premises Standards includes an **Access Code** for Buildings that is mirrored in the access provisions of the **Building Code of Australia (BCA)** in D3, E3.6 and F2.4. Under the Premises Standards, new building work and the “Affected Part” of existing buildings must comply in the same manner as it is required to comply with the BCA, by meeting Deemed to Satisfy (DtS) provisions or by adopting a performance solution that achieves the relevant performance requirements. The DtS provisions reference Standards, including parts of the AS1428 suite to outline technical criteria and minimum requirements to achieve reasonable access provisions for people with disability.

It is important to note that compliance with the Premises Standards and the Access Code will ensure that DDA non-discrimination requirements are met for all matters/areas covered by the Standards. However, for any matters/areas that are not covered by the Premises Standards, the over-arching DDA legislation will still apply and it cannot be guaranteed that a successful complaint cannot be lodged.

An “**Affected Part**” upgrade is applicable to a building owner or a sole lessee of an existing building who is the applicant for a building approval permit. It is triggered by application for a Construction or Complying Development Certificate, or where new works are constructed for and on behalf of the Crown. For example, a new building, alterations and additions to an existing building or an application for a change in building use where building works are proposed or required to meet fire safety standards.

When new building works are being undertaken by the building owner within an existing building of specified Classes that requires a building approval (CC, CDC or Crown), the requirement to upgrade access applies to the area of new work and the “Affected Part”.

Note:

- If the lessee of a part of a building (which includes more than one lessee) submits the application for approval of the building work the upgrading of the “affected part” will not be applicable.

The “Affected Part” is defined below and shown in Figure 1:

- The principal pedestrian entrance/s of an existing building that contains a new part; and

- Any part of an existing building, that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.

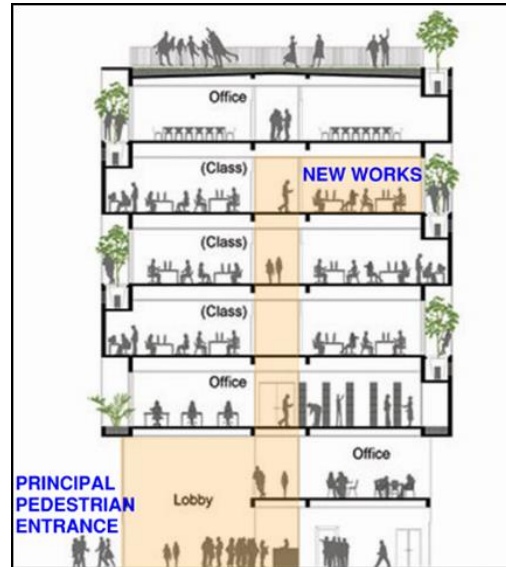


Figure 1 – Sample Schematic of “Affected Part”

- **AS1428 Suite – Design for Access and Mobility** provides technical criteria and minimum requirements related to accessible design for the independent use of people with disability. It focuses on the provision of continuous accessible paths of travel, circulation spaces, facilities and access features for people using wheelchairs, with ambulant disabilities and with sensory (vision and hearing) disabilities.
 - **Part 1: AS1428.1-2009** is referenced by the BCA and includes mandatory access requirements for the provision of access for people with disability for new developments. The 2009 revision of AS1428.1 adopted the increased circulation requirements of AS1428.2-1992 that were developed to satisfy the needs of 90% of people with disability between the ages of 18 to 60.
 - **Part 2: AS1428.2-1992** is a non-mandatory Standard (unless for a BCA H2 – Public Transport Building) that provides enhanced and best-practice design requirements for elements that are not covered in AS1428.1 such as fittings, fixtures, furniture and the like.

Compliance with AS1428.2 for these matters/areas is recognised as good/best practice and should be incorporated where achievable. For any internal building elements that are not covered by mandatory, referenced Standards, the DDA legislation will still apply and it cannot be guaranteed that a complaint cannot be lodged.
 - **Part 4: AS1428.4.1- 2009** is referenced by the BCA and contains mandatory access requirements for Tactile Ground Surface Indicators (TGSIs) to assist the orientation of people with vision impairment.
- **AS1735.12- 1999** is referenced by the BCA and contains mandatory access requirements for passenger lifts, escalators and moving walks to assist people with disability.

2.4 Additional Design Guidelines

The Report may also consider other relevant access design guidelines and/or advisory Standards (that do not form part of a formal BCA/Access Code assessment) to promote equity and dignity in line with the primary objectives of the DDA and a Universal Design approach, including:

- AS1428.2-1992 – Design for Access and Mobility – Part 2: Enhanced and Additional Requirements – Buildings and Facilities
- Centre for Excellence in Universal Design - Universal and Inclusive Design Principles
- Government Architect of NSW “Better Placed” – An integrated design policy for the built environment of New South Wales
- Australian Human Rights Commission (AHRC) Advisory Note on Streetscape, Public Outdoor Areas, Fixtures, Fittings and Furniture – 8 February 2013

Note:

- This document provides information on parts of the built environment not covered by the DDA Access to Premises Standards that continue to be subject to potential DDA discrimination complaints by people with disability if they experience an access barrier
- Development Control Plan (DCP) – City of Newcastle

A summary outline of key design planning considerations from the above guidelines is included below:

- The seven Universal Design Principles for consideration in the ongoing design of the development include:
 - Principle 1: Equitable Use
 - Principle 2: Flexibility in Use
 - Principle 3: Simple and Intuitive Use
 - Principle 4: Perceptible Information
 - Principle 5: Tolerance for Error
 - Principle 6: Low Physical Effort
 - Principle 7: Size and Space for Approach and Use

Universal Design provides numerous benefits for associated businesses, individual users and society in general. An inclusive environment that can be accessed, understood and used by as many people as possible makes good business sense, is more sustainable for the environment and is socially progressive.

2.5 Limitations

This Report assesses the access provisions of the proposed development in general and does not include nor imply any assessment for design outside the minimum access provisions of the Disability Access to Premises Amendment 2020 Standards (Premises Standards), including the Access Code and access provisions of BCA 2019.

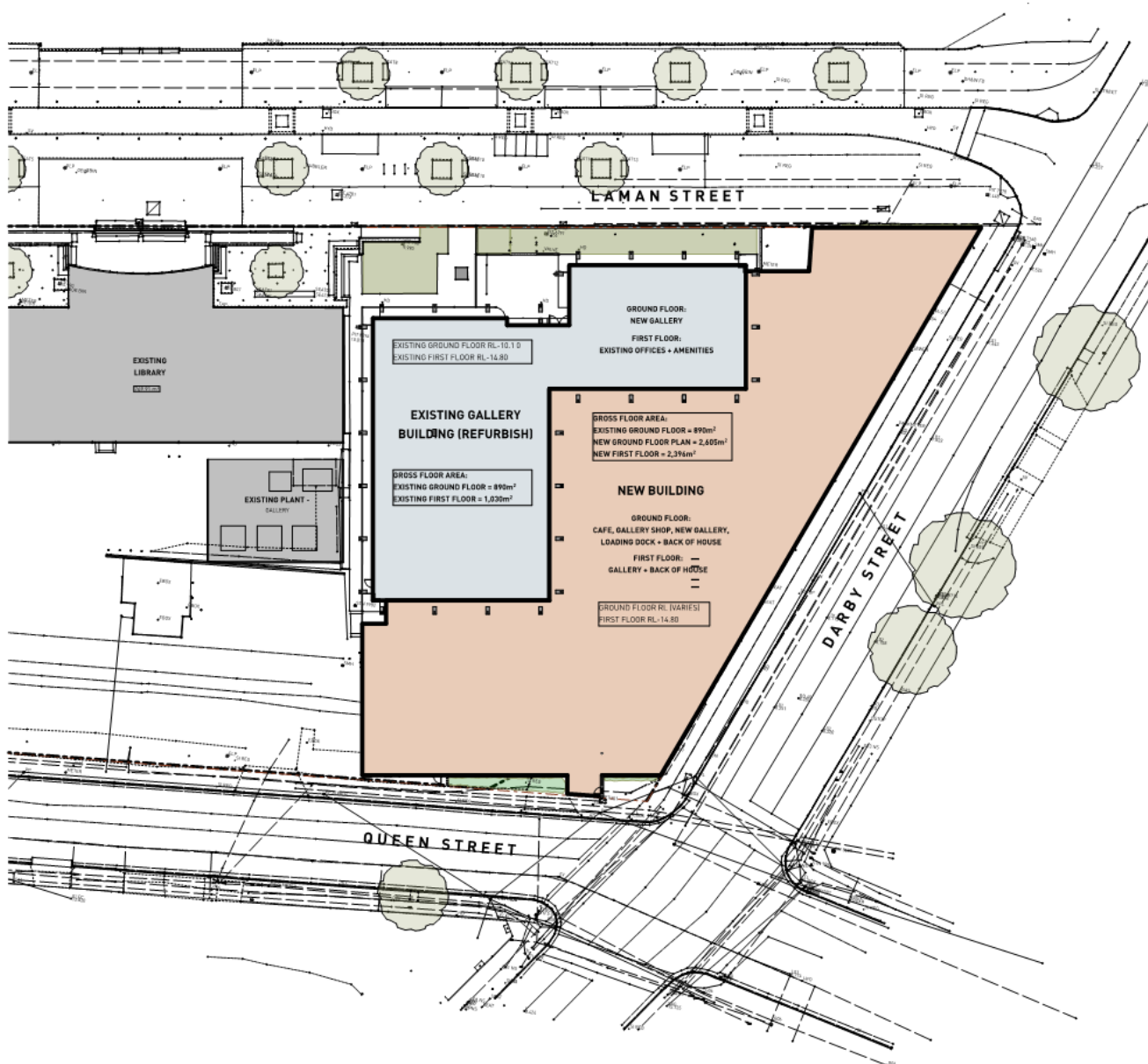
3.0 PROJECT PARTICULARS

3.1 Building Site

The development site is located at 1 Laman Street, Cooks Hill, NSW Australia.



Figure 2 – Aerial View of Site



1 SITE PLAN
1:500

Figure 3 – Site Plan

3.2 Building Description

The following comments are made in relation to the subject building:

- The subject development consists of the following building classifications in accordance with the Building Code of Australia 2019, (to be confirmed by the BCA Consultant/Certifying Authority):

Building (or Part)	Building Class	Primary Building Use
The Gallery Building	Class 9b	Art gallery

Shop/ Restaurant	Class 6	Retail
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Table 5 – Building Class (or Part)

3.3 Areas required to be accessible under the BCA/Access Code

In accordance with the provisions of Clause D3.1 of the BCA, the following areas of the building are required to be accessible:

Level	Area	Description
Ground Floor	Class 5 – Offices	To and within all areas normally used by the occupants.
Ground Floor	Class 6 – Retail, Café	To and within all areas normally used by the occupants.
Ground Floor	Class 7a – Existing Civic Public Carpark Parking	To and within any level containing accessible car parking spaces.
Ground Floor / First Floor	Class 9b – Art Gallery	To and within all areas normally used by the occupants, including to wheelchair seating spaces required under BCA D3.9, except access is not required to tiers or platforms that do not contain wheelchair seating spaces within the assembly building.

Table 6 – Areas Required to be Accessible under BCA/Access Code

3.4 Documentation Assessed

This Report is based on the following S4.55 documentation:

Drawing No.	Title	Prepared By	Rev	Date
DA-A-010	SITE DEMOLITION PLAN	SMITH & TZANNES	E	20/04/2021
DA-A-011	OVERALL SITE PLAN	SMITH & TZANNES	F	20/04/2021
DA-A-100	PROPOSED LOWER GROUND	SMITH & TZANNES	G	20/04/2021
DA-A-101	PROPOSED GROUND FLOOR PLAN	SMITH & TZANNES	G	20/04/2021
DA-A-102	PROPOSED FIRST FLOOR PLAN	SMITH & TZANNES	G	20/04/2021
DA-A-200	ELEVATIONS (NORTH & EAST)	SMITH & TZANNES	G	20/04/2021
DA-A-201	ELEVATIONS (SOUTH & WEST)	SMITH & TZANNES	G	20/04/2021
DA-A-202	SECTIONS	SMITH & TZANNES	F	20/04/2021

Table 7 – Documentation Assessed

4.0 ACCESSIBILITY ASSESSMENT

4.1 Site Linkages & Landscape Areas

Reference – DDA, BCA D3.2 & AS1428.1

Requirements:

As there is no BCA classification or access legislation that provides specific requirements for landscape and outdoor spaces (outside of the over-arching DDA legislation), building legislation principles for BCA Class 9b buildings have been considered to promote equitable, dignified and independent access for people with disability through landscape and outdoor areas and with consideration of Universal Design Principles.

Under the BCA, Class 9b buildings require access for people with disability to and within all areas normally used by the occupants and to wheelchair seating spaces provided in accordance with D3.9, however access need not be provided to every tier or platform within an auditorium.

A similar approach can be applied to ensure reasonable access for people with disability and/or access needs to outdoor landscape areas within the constraints of the natural environment of the site:

- Access should be provided to and within all areas normally used by the occupants via an integrated pathway system to connect key zones, elements and spaces for people to access and enjoy a range of experiences.
- The pathways should provide a continuous accessible path of travel, compliant with AS1428.1 as far as is possible within site and/or other constraints.
- Access provisions and features (eg. rest seating, shade provision) should be provided to assist all users including people with disability within landscape areas so that people can stop, rest and stay within the landscape in accordance with AS1428.1 and AS1428.2 design guidance.

The items listed below are therefore advisory recommendations under the DDA:

- An accessible path of travel to and within the development site precinct (not solely to building entrances as required by BCA D3.2) should be provided, compliant with AS1428.1 as far as is possible within site constraints.
- An accessible path of travel from associated public transport pick-up and set-down points within the development site to building entrances should be provided, compliant with AS1428.1.
- Suitable access provisions should be developed for people with disability with regard to new footpath and pedestrian crossing areas, particularly any kerb-ramps, blended kerbs or flush roadway/cycle share-way crossing areas in accordance with AS1428.1 and AS1428.4.1.
- Any designated vehicular pick up/drop off areas (eg, private vehicles, taxi, kiss and ride, Uber, etc) should be designed and developed to be accessible in compliance with AS2890.6 and AS1428.1.
- Any connecting kerb ramps or continuous access from vehicular drop off lay-back areas should enable access from roadway to footpath and safety for users, compliant with AS1428.1 and AS2890.6.
- Any new public transport pick-up or set-down areas eg, ferry wharf, bus and tram stops and taxi stand must be designed and developed in accordance with Disability Standards Accessible Public Transport (DSAPT), AS1428.2 and AS1428.4.1.

Comment:

A small landscaped area and a garden court are proposed, both planting areas are within close proximity to the secondary entrance of the gallery located off the Queen Street. The garden court proposed is to be located at the South corner of the gallery building facing the Queen Street and Darby Street crossing. It appears to be for display only, access to and through the garden court is not provided.

4.2 Access to the Building

Reference – BCA D3.2 & AS1428.1

Requirements:

To meet the BCA/Access Code, an accessway (ie, continuous accessible path of travel, compliant with AS1428.1) is required to provide pedestrian access to the building for people with disability from:

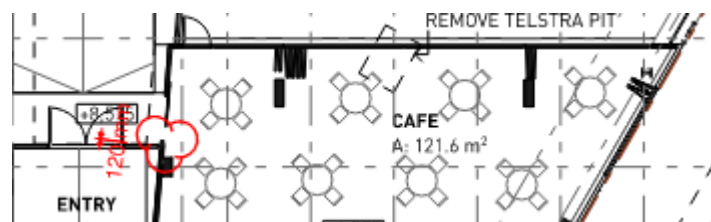
- The main points of a pedestrian entry at the allotment boundary; and
- Another accessible building connected by a pedestrian link; and
- Any required accessible carparking space on the allotment.

In addition, any common-use stairs, ramps and walkways providing pedestrian access to the building are to be compliant with BCA D3.3 & AS1428.1.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- The principal pedestrian entrance of the gallery appears to be located off Laman St, access to and through the principal entrance is via a series of compliant walkways and two sets of double glazed entrance doorways. A secondary entry to the gallery is also provided and located off Queen Street. Both entrances appear to be capable of compliance and details are adequate for DA submission. Information such as glazing decals, door operating force for the double swing doors, are to be provided for review as design progresses to CC stage.
- The Café located off Laman Street appears to be operating independently from the gallery. Access to the Café is provided both internally via the Galley Foyer, and from external footpath via its own principal entrance, which appears to be accessible outside of the gallery operating hours. The principal pedestrian entrance of the Café is adjacent to the main entrance of the gallery, which appears to have inadequate latch side clearance (395mm is required, external approach).



Principal entrance of the Café

- A secondary entrance of the Café is also available and can be directly accessed of Laman street via a compliant set of stairs to the external deck and via a single swing door.

This is achievable and will occur prior to Certification stage.

4.3 Accessible Car Parking

Reference – BCA D3.5 & AS2890.6

Requirement:

To meet the BCA/Access Code, accessible carparking spaces for people with disability are to be provided for the building in accordance with AS2890.6 and BCA Table D3.5 as follows:

Class of building to which the carpark or carparking area is associated	Number of accessible carparking spaces required
Class 5, 7, 8 or 9c	1 space for every 100 carparking spaces or part thereof.
Class 6 (a) Up to 1000 carparking spaces; and (b) For each additional 100 carparking spaces or part thereof in excess of 1000 carparking spaces.	1 space for every 50 carparking spaces or part thereof. 1 space.

The accessible carparking spaces are required to be located on a firm, level surface in compliance with AS2890.6, Cl 2.3, including:

- Minimum dimensions of 2400mm W x 5400mm L plus an adjacent shared area of 2400mm W x 5400mm L, compliant with AS2890.6;
- Vertical clearance of 2500mm minimum height over accessible carparking space and shared area with 2200mm minimum height over vehicle aisle leading to accessible car space from FFL, compliant with AS2890.6; and
- Accessible carparking spaces to be located and connected via a continuous accessible path of travel, compliant with AS1428.1 to relevant lifts and/or building entry point to minimise travel distances in compliance with BCA D3.2.

Comment:

The BCA mandates the provision of the accessible parking for new buildings. Given the proposed development is the expansion work to an existing art gallery; the 'affected part' provision under the Premises Standards will be triggered at the building approval stage. The provisions of the accessible parking to an existing building undertaking new work would not generally be required to the subject extension work and the documentation reviewed does not provide any information in regards to carparking provision/arrangements.

The existing accessed off Queen Street appears to serve both the gallery and the library adjacent, it is unclear as to the existing accessible parking bay provisions. Although it is outside of the project scope, from a DDA perspective, adequate accessible parking at a convenient location be provided close to the proposed new expansion work should be considered in order to meet the spirit and the intend of the DDA, so as for the gallery to avoid any potential discriminatory complaints against inadequate accessible parking provisions.

4.4 Existing Building- Affected Part Provisions

Reference – APS 2.1 & AS1428.1

Requirement:

When proposed development (new works) requires building approval (Crown, Construction or Complying Development Certificate) within existing buildings, the Affected Part upgrade provisions under the Premises Standards Part 2.1(1)(b) become pertinent and may trigger upgrade from the principal pedestrian entrance and to/within the "Affected Part".

The “Affected Part” is defined as the principal pedestrian entrance to the existing building and the required continuous accessible path of travel from the principal pedestrian entrance to the area of new works.

If not already compliant, the Affected Part is required to comply with AS1428.1-2009 and AS1735.12 (if the Affected Part includes a passenger lift).

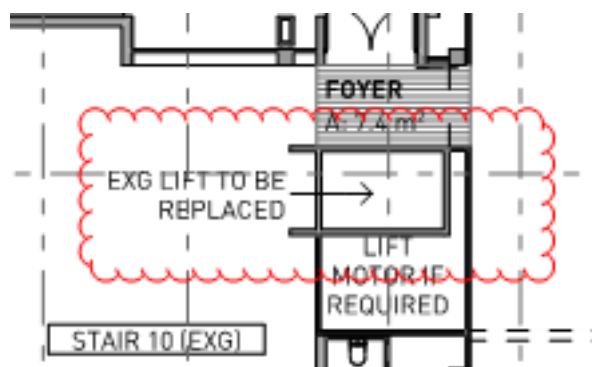
Comment:

The BCA mandates that all new passenger lifts to comply with Part E3.6. Given the subject development is for a new extension to an existing gallery building, any new or existing lifts that form part of the new work or on the path of travel to access the new part of the expansion work will fall under the “affected part” provision of the Premises Standards. The provision will trigger an existing lift upgrade as a concession or possible replacement of a fully compliant lift if not already compliant with BCA Part E3.6 and AS1735.12. Given the above and our review, the following areas will require specific attention as the design progresses:

- a) All existing service lifts have been assessed as exempt as they do not form part of the accessible path of travel to the new work, or for public access.
- b) The existing lift located adjacent to the existing gallery B is both for public access and occasional transport of art works between floors. The following options can be considered in order to fulfil the Affected Part code requirements at the CC stage:
 - If not already compliant, upgrade the existing lift features such as lift control buttons and the provision of the audible information to be fully accessible for people with a disability.
 - Install a new passenger lift to be in ordinance with the code provision, providing lift specifications for review prior to CC approval.
- c) Where the proposal for a new lift to replace the existing lift is considered, the new passenger lift specifications are to include detailed access features for people with disability including lift car dimensions, door clearance, lift call and controls, fixtures and fittings and auditory and visual indicators in compliance with AS1735.12 to satisfy BCA E3.6.

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements. The following areas will require specific attention as design progresses to next stage.

- a) The existing lift located adjacent to the existing gallery B is both for public access and transporting art works is to be replaced with a new fully accessible passenger lift. Detailed information such as lift shaft modification to suit the new lift is required. A new lift with a lift car dimension of 1400mm (W) x 1600mm (D) is recommended, due to its function and use for both communication and transportation. Further information such as lift specifications is also required for review prior to CC.



The existing lift located adjacent to the existing gallery B

This is achievable and will occur prior to Certification stage.

4.5 Building Entrances

Reference – BCA D3.1, D3.2 & AS1428.1

Requirement:

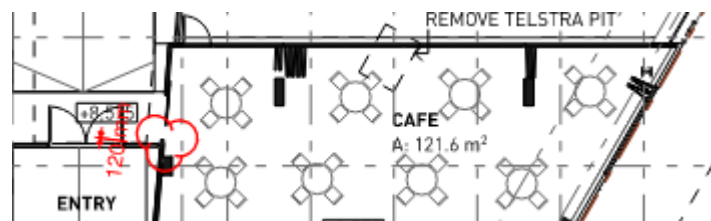
To meet the BCA/Access Code requirements for accessible entry into a building for people with disability, access is required through the principal pedestrian entrance to a building (or parts of a building when building has separate functions/use) and:

- Through not less than 50% of all pedestrian entrances (except those serving only areas exempted by BCA D3.4); and
- A non-accessible pedestrian entrance must not be located more than 50m from an accessible pedestrian entrance (building more than 500m² total floor area), except for pedestrian entrances serving only areas exempted by BCA D3.4.
- The accessible entrances are to have clear circulation spaces on both sides of doorways that are level, with an 850mm minimum clear opening width for the active leaf, compliant with AS1428.1.

Comment:

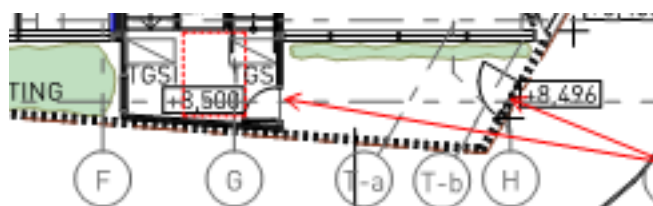
At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- All doors required to be accessible are to be documented to confirm required access features for people with disability including 850mm minimum clear width opening for active leaf, level threshold, circulation space, luminance contrast, glazing/visual indicators, where required, and door hardware in compliance with AS1428.1 to satisfy BCA D3.2. Door Schedule required as the project further develops.
- The principal accessible entrance sliding door into the ground floor Café does not have the required 395mm latch side clearance from the corridor side approach.



Principal entrance of the Café

- There appears to be a secure staff entrance located off the Southside of the extension, facing the crossing between Queen Street and Darby Street. If they are for maintenance staff access only, access to and through those doorways may be exempt. Further confirmation is required as design progresses into next stage.



Staff secure entrance facing the crossing between Queen Street and Darby Street

- d) All controls (including intercoms and security card readers) are to be documented to confirm required access features for people with disability including location on level landings at accessible heights between 900-1250mm from FFL, no closer than 500mm from an internal corner in compliance with AS1428.1 to satisfy BCA D3.2

This is achievable and will occur prior to Certification stage.

4.6 Emergency Egress

Reference – BCA D2.17, D3.3 & AS1428.1

Requirement:

To meet BCA D2.17, required fire-isolated stair/ramp exits, (serving accessible areas) are required to include access features suitable for people with disability (ie, ambulant and sensory) including:

- At least one continuous, consistent height handrail compliant with AS1428.1 CI 12.
- To achieve a consistent height handrail (ie, without vertical or raked sections), an off-set tread at the base of each stair flight or an increased mid-landing length to allow a one-tread handrail extension clear of egress route is needed.
- All fire-isolated egress stairs to provide required access features for people with disability including one continuous, consistent height handrail compliant with AS1428.1, CI 12 to meet BCA D2.17 and luminance contrasting step nosing with slip-resistance compliant with AS4586 & CSIRO/Standards Australia Handbooks HB197 & 198 (wet pendulum method).

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- a) All fire-isolated egress stairs to provide required access features for people with disability including one continuous, consistent height handrail compliant with AS1428.1, CI 12 to meet BCA D2.17 and luminance contrasting step nosing that is slip-resistant in compliance with AS1428.1 to satisfy BCA D3.3.

This is achievable and will occur prior to Certification stage.

DDA/Advisory Note:

There is a gap in current access legislation with regards to independent accessible egress for people with disability (particularly for people with mobility issues that are unable to use fire stairs) as there is no mandatory requirement within the BCA or Premises Standards for accessible egress for people with disability to be in accordance with AS1428.1. However, to meet DDA objectives, all users, including people with disability should be provided with a safe means of evacuation/egress from premises to a place of safety.

- *Consideration of an accessible egress strategy, with a documented group emergency evacuation plan and fire wardens (as well as Personal Emergency Evacuation Plans – PEEPs for employees) to assist people with disability is recommended.*
- *If/where an additional external handrail is provided within fire-stairs, ensure it is continuous around landings (where practicable) and at a consistent height, compliant with AS1428.1.*
- *Consideration for providing at least one emergency evacuation lift that can be used during an emergency by people with disability is recommended*

4.7 Access Within Buildings – Paths of Travel & Circulation Requirements

Reference – BCA D3.1, D3.3 & AS1428.1

Requirement:

To meet the BCA/Access Code and provide access for people with disability to and within all common-use areas of the building required under BCA Table D3.1, accessways are to be provided throughout all parts of a building required to be accessible.

An accessway or continuous accessible paths of travel cannot include a step, stairway, turnstile, revolving door, escalator, moving walk or other impediment.

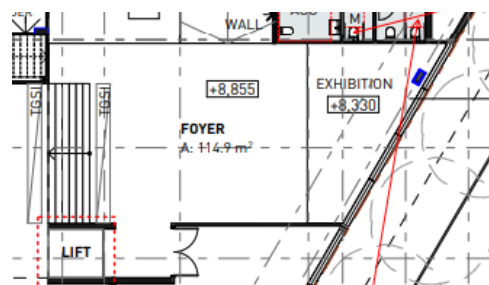
Accessways require the following minimum circulation areas to comply with AS1428.1:

- 1000mm minimum clear width path of travel (for linear direction), compliant with AS1428.1, with increased clear width areas required for doorway circulation, turning, etc;
- 1500mm minimum clear width path of travel for curved walkways and landings;
- Turning spaces (1500mm x 1500mm) compliant with AS1428.1 where users are required to turn through 90°;
- Passing spaces (1800mm W x 2000mm L) compliant with AS1428.1 at 20m maximum intervals where a direct line of sight is not available; and
- Turning spaces (1540mm W x 2070mm L) compliant with AS1428.1 within 2m of the end of accessways (including corridors or the like) and at 20m maximum intervals along an accessway.
- All required turning/passing spaces and landings require a suitably level surface, not steeper than 1:40 gradient.
- At least 2000mm minimum clear height FFL (1980mm height permitted at doorways) is required for all accessways.
- Any accessways adjacent to areas with less than 2000mm clear height eg. underside of stairs, are to be suitably enclosed by a physical barrier, handrail and kerbrail or have warning TGSi installed to AS1428.4.1 for safety.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- Accessways with required access features for people with disability including continuous accessible paths of travel with suitable gradients and lengths between landings, suitable cross-fall and level transitions between slip resistant traversable surfaces and circulation areas to be provided in compliance with AS1428.1 to satisfy BCA D3.
- The foyer facing the entrance located off Laman Street has a 525mm rise from the adjacent exhibition area, details as per the extract below:



The exhibition area in question

A performance solution is required to justify the level difference via a management in use plan prior to Building Approval.

Note:

- The future fit-out design will need to ensure compliance with the above access requirements and AS1428.1.

This is achievable and will occur prior to Certification stage.

4.8 Paths of Travel – Accessible Floor Surface Requirements

Reference – BCA D3.1 & AS1428.1

Requirement:

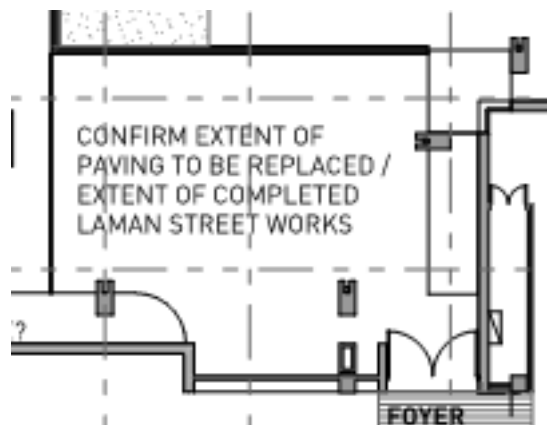
Accessways require suitable ground and floor surfaces that comply with AS1428.1 to be traversable by people with disability including:

- Level abutment between surfaces with a smooth transition (ie, 0mm with construction tolerance of 3mm vertical or 5mm with chamfered/rounded edge permitted).
- Carpet pile height to not exceed 11mm and carpet backing thickness not more than 4mm, compliant with BCA D3.3(g).
- Grates with minimised opening size, ie, circular openings 13mm maximum diameter, slotted openings 13mm maximum wide and oriented with long dimension transverse to dominant direction of travel (heelguard grates 8mm maximum width recommended/preferred).
- All floor surfaces to be slip resistant, compliant with AS1428.1 with minimum slip ratings to BCA Table D2.14, AS4586 and CSIRO/Standards Australia Handbooks HB 197 & HB 198 (wet pendulum method) to suit context/location.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- The replacement of the paving at the existing forecourt of the foyer leading to existing gallery A shall be in accordance with the current code provisions. Ensure a smooth transition between abutting surfaces. A construction tolerance of 3mm for vertical differences is allowable or 5mm where edges are rounded or bevelled.



Existing forecourt of the foyer leading to existing gallery A

- b) Level surface transitions, cross-fall and/or compliant threshold ramps to be provided between internal and external areas, compliant with AS1428.1
- c) All floor surfaces to required accessible areas to be traversable by people with disability, compliant with AS1428.1 with minimum slip resistance ratings to BCA Table D2.14, AS4586 and CSIRO/Standards Australia Handbooks HB 197 & HB 198 (wet pendulum method).

This is achievable and will occur prior to Certification stage.

4.9 Paths of Travel – Accessible Door Requirements

Reference – BCA D3.1 & AS1428.1

Requirement:

To meet the BCA/Access Code and provide access for people with disability to and within all common-use areas of a building, required under BCA Table D3.1, all doorways on accessways require the following to comply with AS1428.1:

- All doors to common-use areas require 850mm minimum clear opening width (generally 920mm minimum door leaf) with provision of clear door circulation space on both sides and level threshold transitions, compliant with AS1428.1.
- For double leaf doors, at least one active leaf door is required to achieve 850mm minimum clear opening width.
- Provide 30% minimum luminance contrast between doorway openings and adjacent surfaces, compliant with Cl. 13.3.
- Door circulation space to be located on level landings no steeper than 1:40 gradient. The circulation space required will depend on the door type ie. swing or sliding and the angle of approach ie. frontal, side etc.
- All accessible entrance doors and associated door hardware and controls to comply with AS1428.1.
- Doors to have lightweight operational force (20N) or may need power-operation with accessible controls.
- Visual indicators are required on fully glazed doors, sidelights and any glazing on an accessway where there is no chair rail, handrail or transom, that is capable of being mistaken for a doorway or opening to comply with AS1428.1-2009, Cl 6.6.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- a) Door Schedule to be provided for review as the project further develops.

This is achievable and will occur prior to Certification stage.

4.10 Exemptions – Areas not Required to be Accessible

Reference – BCA D3.4

Requirement:

The BCA/Access Code makes allowance for specific areas to be exempt from access for people with disability in compliance with AS1428.1 under BCA D3.4:

- An area where access would be inappropriate because of the particular purpose for which the area is used. (Restricted use service rooms: sub-station, fire-control room, switch rooms, waste room).
- An area that would pose a health or safety risk for people with a disability.

- (Plant rooms, service risers, pump, comms rooms, cooling towers, etc).
- Any path of travel providing access only to an area exempted by (a) or (b).
(Restricted use service areas (ie, cleaners' rooms, heavy equipment storage, operational freezers and chillers, commercial kitchen, sub-stations, service rooms/cupboards; loading dock, waste/crate management areas and the like).

Comment:

At this stage, the plans indicate potential areas that could be supported under D3.4 Exemptions with further design detail and review in the ongoing design development stage. The following areas will require specific attention/clarification on any use restrictions:

- a) Any store-rooms used for general day to day storage are to comply with AS1428.1 door clearances and door circulation areas.

Note:

- As the design progresses, any areas seeking BCA D3.4 exemptions will need to be documented with confirmation/concurrence from stakeholders (subject to Certifying Authority approval) to meet the performance requirements of the BCA.

This is achievable and will occur prior to Certification stage.

4.11 Passenger Lifts

Reference – BCA D3.3 & E3.6**Requirement:**

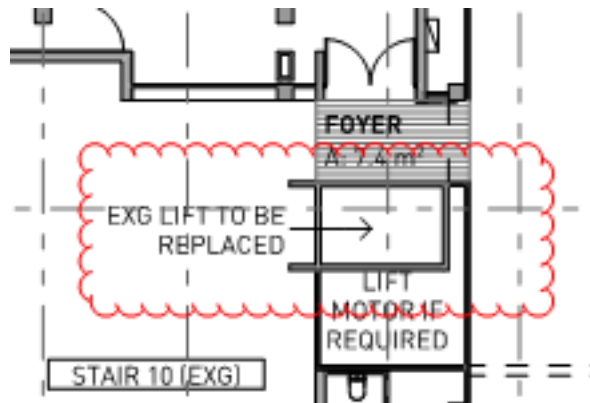
The BCA/Access Code has passenger lift requirements within accessible buildings to ensure access for people with disability that include:

- Every passenger lift is to comply with BCA Table E3.6a and include accessible features as per Table E3.6b and AS1735.12.
- Lift car dimensions to have 1100mm W x 1400mm L minimum dimensions for less than 12m travel distance (and/or for existing buildings, based on the Premises Standards' Lift Concession).
- Lift car dimensions to have 1400mm W x 1600mm L minimum dimensions for more than 12m travel distance.
- All passenger lifts to include detailed access features for people with disability including lift car dimensions, door clearance, lift call and controls, fixtures and fittings and auditory and visual indicators in compliance with AS1735.12 to satisfy BCA E3.6.

Comment:

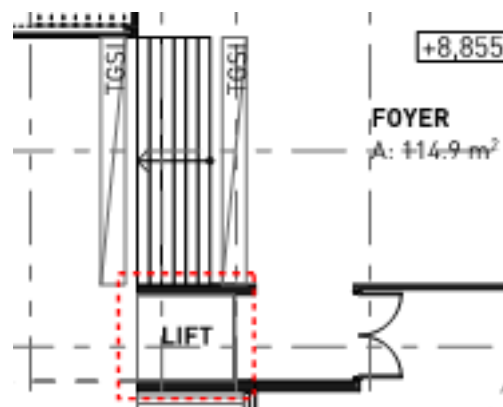
At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements. The following areas will require specific attention as the design progresses:

- a) The existing lift located adjacent to the existing gallery B is both for public access and transporting art works is to be replaced with a new fully accessible passenger lift. Detailed information such as lift shaft modification to suit the new lift is required. A new lift with a lift car dimension of 1400mm (W) x 1600mm (D) is recommended, due to its function and use for both communication and transportation. Further information such as lift specification is also required for review prior to CC.



The existing lift located adjacent to the existing gallery B

- b) A small sized low speed vertical automatic lift is proposed and is to be situated at the secondary entry foyer located off Queen Street. The current spatial provision appears to be adequate for a lift that travels no more than 12 meters. Lift specification will be required for assessment prior to Building Approval Stage.
- c) A small sized, low speed automatic lift which travels no more than 12m is also proposed and to be located adjacent to the main entrance foyer beside the central gallery. Information provided in relation to spatial and circulation provisions is sufficient to satisfy S4.55 submission. Further detailed documentation and lift specification are required for review prior to CC.



A vertical low-rise platform lift leading to the central gallery space

Information provided to date is adequate for S4.55 submission, lift specifications are required for assessment prior to Building Approval.

4.12 Walkways

Reference – BCA D3.3 & AS1428.1

Requirement:

The BCA/Access Code has walkway requirements to ensure access for people with disability that include:

- All walkways to comply with AS 1428.1, CI 10.
- Walkways to have a 1:20 maximum gradient, landings at maximum 15m intervals with landing dimensions in compliance with AS1428.1.

- Walkways are to include minimal cross-fall and level transitions between slip resistant, traversable surfaces, level landing circulation areas and edge protection on any exposed sides (ie, raised kerb, kerb and handrail, low wall) in compliance with AS1428.1 to satisfy BCA D3.3.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- a) The walkways will have access features including suitable gradients and lengths between level landings, minimal cross-fall and level transitions between slip resistant, traversable surfaces, level landing circulation areas and edge protection on any exposed sides (ie, raised kerb, kerb and handrail, low wall) in compliance with AS1428.1 to satisfy BCA D3.3.

This is achievable and will occur prior to Certification stage.

4.13 Ramps

Reference – BCA D3.3, D3.8 & AS1428.1**Requirement:**

The BCA/Access Code has ramp requirements to ensure access for people with disability that include:

- All ramps (excluding leading solely to BCA D3.4 exempt areas) are to be compliant with AS 1428.1, CI 10.
- A series of connected ramps must not have a combined vertical rise of more than 3.6m.
- A landing for a step ramp must not overlap a landing for another step ramp or ramp.

To satisfy AS1428.1, all ramps require:

- 1:14 maximum gradient, landings at 9m maximum intervals and landing length dimensions (exclusive of handrails) to suit direction/turn required (ie, 1200mm minimum 1500mm 90° turn, 1540mm 180° turn).
- Suitable recess from the site boundary (900mm) and from other paths of travel (400mm) to allow required handrail extensions to not encroach over the traverse path of travel, compliant with AS1428.1.
- Clear width dimensions to allow for 1000mm minimum required access and/or egress path with suitably sized landings in addition to space for required handrails on both sides, compliant with AS1428.1.
- Continuous handrails and kerb-rails on both sides in compliance with AS1428.1 to satisfy BCA D3.3.
- Tactile ground surface indicators (TGSIs) provided at top and base landing areas in compliance with AS 1428.4.1.
- Step ramps to have 1:10 maximum gradient, 190mm maximum height and be compliant with CI 10.6.
- Threshold ramps to have 1:8 maximum gradient, 35mm maximum height and be compliant with CI 10.5.

Note:

- The maximum ramp gradients listed above do not include allowance for construction tolerance.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- a) A 1:10 step ramp is proposed and located within the café adjacent to the principal entrance of the gallery. Further information and review is required prior to CC approval.
- b) A step ramp is proposed and located adjacent to the library beside the loading dock, further information is required for review as project progresses to CC stage.

- c) All ramps to be adequately recessed from site boundary/building line or adjacent path of travel to accommodate required access features including maximum gradients and lengths between level landings, level landing circulation spaces, continuous handrails and kerb-rails on both sides, TGSi in compliance with AS1428.1 to satisfy BCA D3.3.

Note:

- The ramp maximum gradients noted do not include allowance for construction tolerance.

This is achievable and will occur prior to Certification stage.

4.14 Stairs

Reference – BCA D3.3, D3.8 & AS1428.1

Requirement:

The BCA/Access Code has stair requirements to ensure access for people with disability (ambulant and sensory) that include:

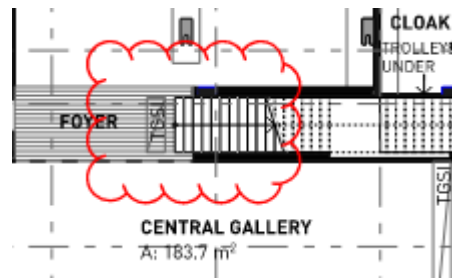
- All communication and non-fire-isolated stairways must comply with AS1428.1, CI 11.
- Stairs are to be recessed from the site boundary (900mm) and from other paths of travel (400mm at top and 650 minimum at base) to allow for handrail extensions not to encroach over the traverse path of travel, compliant with AS1428.1.
- Stairs require provision of an off-set stair tread at base of stair flights to provide a continuous, consistent height handrail along the full stair flight, compliant with AS1428.1.
- Ensuring stair layout dimensions allow for minimum required access and/or egress path width requirements and suitably sized landings in addition to space for continuous handrails on both sides, compliant with AS1428.1.
- All stairs are to include access features including, closed risers with appropriate geometry, luminance contrasting step nosing that is slip-resistant in compliance with AS1428.1 to satisfy BCA D3.3.
- All stairs require tactile ground surface indicators (TGSi) to be provided at top and base landing areas in compliance with AS 1428.4.1.

Comment:

The BCA mandates that all communication stairs are to comply with Clause 11 of AS1428.1 (2009), details are as outlined above.

At this stage, the plans indicate that the design of all proposed new stairways are capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- a) All internal stairs are to be recessed from adjacent paths of travel by 400mm at a minimum to accommodate the required handrail extensions on both sides and include access features such as, closed risers with appropriate geometry, luminance contrasting step nosing that is slip-resistant and TGSi in compliance with AS1428.1 to satisfy BCA D3.3. The below stairways in particular requires further attention, given its centralised location and potential traffic volume during gallery viewing hours and public holidays. The protrusion of the handrail extension may cause entanglement and collision with the transverse traffic at the foyer between the existing gallery B and the Central Gallery.



Stairway located at the foyer between the existing gallery B and the Central Gallery.

This is achievable and will occur prior to Certification stage.

4.15 Escalators & Moving Walkways

Comment:

At this stage, this is not applicable to the subject development.

4.16 Accessible Sanitary Facilities & Showers

Reference - BCA F2.4 & AS1428.1

Requirement:

The BCA/Access Code has requirements for the provision of accessible sanitary facilities and showers to ensure access for people with disability within areas of a building required to be accessible, compliant with BCA Table D3.1 including:

BCA Table F2.4(a) Accessible Unisex Sanitary Compartments

Class of Building	Minimum Accessible Unisex Sanitary Compartments to be provided
Class 5, 6, 7, 8 or 9 – except for within a ward area of a Class 9a health care building	Where F2.3 requires closet pans – (a) 1 on every storey containing sanitary compartments; and (b) Where a storey has more than 1 bank of sanitary compartments containing male and female sanitary compartments, at not less than 50% of those banks.

BCA Table F2.4(b) – Accessible Unisex Showers

Class of Building	Minimum Accessible Unisex Sanitary Compartments to be provided
Class 5, 6, 7, 8 or 9 – except for within a ward area of a Class 9a health care building	Where F2.3 requires 1 or more showers, not less than 1 for every 10 showers or part thereof.

- Accessible unisex showers are to be provided in accordance with Table F2.4(b). If common use change facilities are provided (i.e., both toilets and showers) a separate combined accessible WC/shower adjacent to male and female change rooms is required, compliant with AS1428.1.

Comment:

It is understood that four (4) accessible toilets are proposed as part of the new extension. The overall circulation space is capable of compliance based on the minimum provisions under the standards. The following comments are required to be incorporated into the next stage of the design.

- a) The minimum 1900mm (W) shall be free of any wall mounted fixtures, such as a paper towel dispensing unit.
- b) Any wall mounted fixtures shall have a minimum 900mm height clearance from FFL, and a maximum projection of 150mm from finished wall surface, so as not to protrude into the minimum 1900mm circulation zone.
- c) The circulation space allowed within the PWD WC is generally compliant, but based on the 430mm minimum basin depth, which would give limited options for basin selections at design development stage. Any basin with more than 450mm in depth will not comply under the current circulation provisions.

Note:

- o Minimum room dimensions for unisex accessible toilets are between finished walls and do not include allowance for construction tolerance. Minimum room size is variable and dependent upon basin selection.

This is achievable and will occur prior to Certification stage.

4.17 Ambulant Sanitary Facilities

Reference – BCA F2.4 & AS1428.1

Requirement:

The BCA/Access Code has requirements for the provision of ambulant sanitary facilities to ensure access for people with disability within areas of a building required to be accessible compliant with BCA F2.4, Clause I, as detailed below:

- At each bank of toilets where there are one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1, CI 16 must be provided for use by males and females.
- All ambulant toilets to have spatial dimensions, layouts, fixtures and fittings in compliance with AS1428.1, CI 16 to satisfy BCA F2.4.

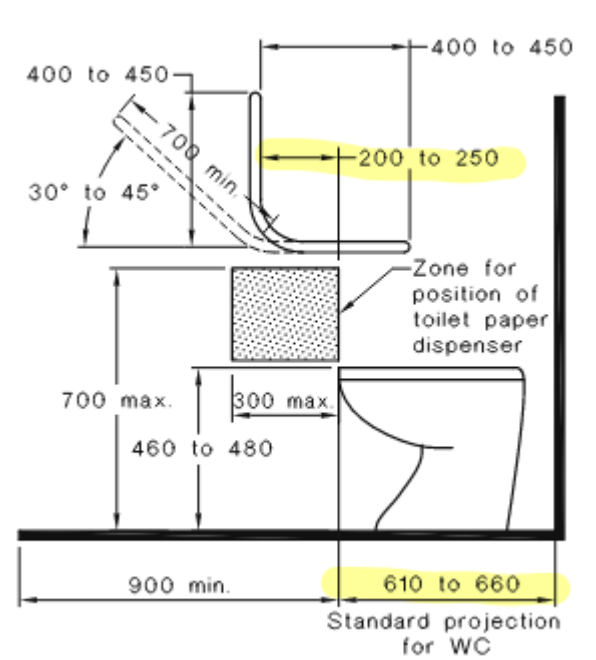
Note:

- o Minimum room dimensions for ambulant sanitary facilities are between finished walls and do not include allowance for construction tolerance.

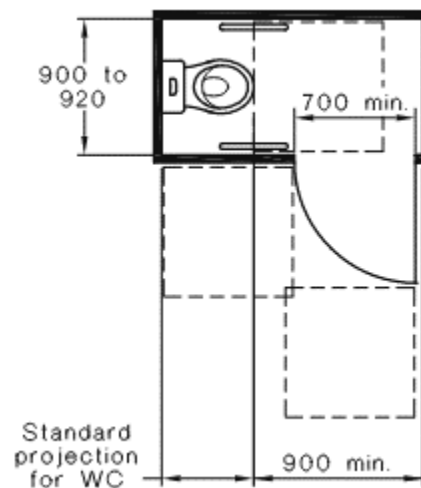
Comment:

Multiple gender specific ambulant toilets are proposed throughout the new extension of the gallery. The following items have been identified during review and need to be addressed as design progresses into next stage.

- a) The length of the partition installed in the male ambulant toilet appears to be less than the 840mm minimum as required by the standards to accommodate the location of the grabrail and the projection of the pan, details as per the figure below.



- b) The female ambulant cubicle located adjacent to the south entrance foyer opposite the lockers appears to have inadequate circulation spaces. Please ensure the 900mm x 900mm circulation space is allowed external to the cubicle, free of door swing, as per the figure below.



Note:

- Minimum room dimensions for ambulant sanitary facilities are between finished walls and do not include allowance for construction tolerance.

This is achievable and will occur prior to Certification stage.

4.18 Accessible Adult Change Facilities/'Changing Places' Facility

Reference:

- BCA 2019 F2.9 & Specification F2.9 (Accessible Adult Change Facilities)
- Changing Places Information Guide & Technical Standard 2020

Requirement:

BCA 2019 requires at least 1 unisex Accessible Adult Change Facility within an accessible part of a building that is a:

- (i) Class 6 building that is a shopping centre having a design occupancy of not less than 3,500 people, calculated on the basis of the floor area and containing a minimum of 2 sole-occupancy units; and
- (ii) Class 9b sports venue or the like that—
 - (A) Has a design occupancy of not less than 35,000 spectators; or
 - (B) Contains a swimming pool that has a perimeter of not less than 70 m and that is required by Table D3.1 to be accessible; and
- (iii) Museum, art gallery or the like having a design occupancy of not less than 1,500 patrons; and
- (iv) Theatre or the like having a design occupancy of not less than 1,500 patrons; and
- (v) Passenger use area of an airport terminal building within an airport that accepts domestic and/or international flights that are “public transport services” as defined in the Disability Standards for Accessible Public Transport 2002.

An Accessible Adult Change Facility:

- Cannot be combined with another sanitary compartment and must be accessed from a common-use unisex area; and
- Is to be in accordance with BCA Specification F2.9 with all required fixtures and fittings within the same room.

Note:

- o The facility will require an approximate internal floor area of 12m².
- o An Accessible Adult Change Facility is designed for people with profound/complex disabilities that require toileting assistance. It is larger and different to an accessible toilet, as the facility includes a ceiling hoist, peninsula style toilet, automated changing table, automated door, wash-basin and additional fixtures and fittings.
- o A ‘Changing Places’ facility is not a required provision but is considered enhanced, best practice to promote diversity and inclusion. In designing a compliant ‘Changing Places’ facility, it is necessary to use the Changing Places Information Guide and Technical Standard – June 2017 (which includes an option to incorporate a shower).
- o A 2400mm minimum ceiling height (2700mm preferred) is required for an Accessible Adult Change Facility in compliance with BCA F3.1(f)(iv) and a ‘Changing Places’ facility to accommodate the requirements of the room coverage ceiling hoist.
- o This ceiling height exceeds minimum ceiling heights for standard sanitary facilities under the BCA.

Comment:

As advised by the project BCA Consultant, the total number of the occupants of the gallery is estimated to be less than 1500 people. On this basis, no adult accessible change facility is required for the subject expansion development under the BCA F2.9 min. requirements.

However, given the type of the development and the extent of the upgrade works, consideration should be made to including this type of facility as best-practice – DDA/Advisory.

4.19 Wheelchair Seating Spaces

Reference – BCA D3.9, Table D3.9 & AS1428.1

In addition to providing access to and within all areas, normally used by the occupants compliant with BCA Table D3.1, the BCA/Access Code requires the provision of wheelchair seating/accessible spaces to ensure access for people with disability where fixed seating is provided in Class 9b assembly buildings compliant with Table D3.9, as follows:

Table D3.9 – Wheelchair seating spaces in Class 9b Assembly Buildings

Number of Fixed Seats in a Room or Space	Number of Wheelchair Seating Spaces	Grouping and Location
Up to 150	3 spaces	1 single space; and 1 group of 2 spaces.
151 to 800	3 spaces; plus 1 additional space for each additional 50 seats or part thereof in excess of 150 seats	Not less than 1 single space; and Not less than 1 group of 2 spaces; and Not more than 5 spaces in any other group.
801 to 10,000	16 spaces; plus 1 additional space for each additional 100 seats or part thereof in excess of 800 seats	Not less than 2 single spaces; and Not less than 2 groups of 2 spaces; and Not more than 5 spaces in any other group; and The location of spaces is to be representative of the range of seating provided.
More than 10,000	108 spaces; plus 1 additional space for each additional 200 seats or part thereof in excess of 10,000 seats	Not less than 5 single spaces; Not less than 5 groups of 2 spaces; and Not more than 10 spaces in any other group; and The location of spaces is to be representative of the range of seating provided.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- Confirmation of total number of fixed tiered/bleacher seats in the retail/bookshelf in the ground floor shop will be required to determine the minimum number of wheelchair seating spaces that can be accommodated in line with AS1428.1, CI 18 spatial requirements.



The fixed seats in the ground floor shop

- Wheelchair seating space can be accommodated at base area, management should consider operational/overlay for additional removable seating in front row that could be arranged adjacent to potential wheelchair spaces, as needed for equity/inclusion (DDA/Advisory).

4.20 Signage

Reference – BCA D3.6, Specification D3.6 & D3.5 & AS1428.1

Requirement:

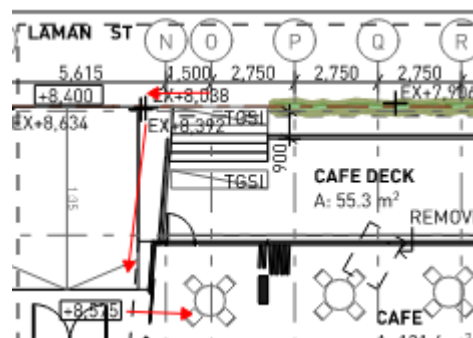
The BCA/Access Code has requirements for the provision of accessible signage for specific facilities, features and services within carparks and buildings to ensure access for people with disability including:

- Braille and tactile signage complying with BCA Specification D3.6 and incorporating the International Symbol of Access, or Deafness as appropriate, to identify:
 - Sanitary facilities including Accessible Unisex Sanitary Facilities, accessible showers, ambulant toilets and Accessible Adult Change Facilities; and
 - Rooms and space with a hearing augmentation system; and
 - Door required by E4.5 to be provided with an exit sign and state “Exit” and “Level” and either:
 - (aa) The floor level number; or
 - (bb) A floor level descriptor; or
 - (cc) A combination of (aa) and (bb).
- Accessible carparking compliant with BCA D3.5, Table D3.5 and AS2890.6.
- There are additional detailed BCA/Access Code signage requirements that outline how to identify and differentiate between specific accessible features and/or types of facilities as well as directional signage requirements to alternate entrances, sanitary facilities, lifts, etc, if/when not accessible.

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- a) The detailed information in relation to signage provisions of each sanitary facility, hearing augmentation, accessible unisex toilets, ambulant toilets and fire exit doors are to be provided for review and for CC approval.
- b) The statutory signage strategy (all required identification and directional/way-finding signage package) to satisfy the above access requirements.
- c) Where an entrance is not accessible, such as the stairway entrance of the Café fronting Laman St, directional signage to identify the nearest accessible entrance is to be provided.



The BCA/Access Code has requirements for the provision of hearing augmentation systems for specific rooms and areas within buildings (where an inbuilt amplification system, other than one used only for emergency warning) is installed to ensure access for people with disability, including:

- (i) In a room in a Class 9b building; or
 - (ii) In an auditorium, conference room, meeting room or room for judicatory purposes; or
 - (iii) At any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider.
- The hearing augmentation system type and minimum coverage area is to be in compliance with BCA D3.7.
 - Any screen or scoreboard associated with a Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system (other than a public address system used for emergency warning purposes only).

Comment:

At this stage, the plans indicate that the design is capable of achieving compliance with the above access requirements with further design detail and review in the ongoing design development stage. The following areas will require specific attention as the design progresses:

- a) Confirmation of the extent of any in-built amplification to be provided throughout the project area (Class 9b) with details of any proposed associated hearing augmentation system, including meeting rooms with inbuilt amplification that are capable of accommodating 5pp.
- b) Confirmation of any screen or scoreboard associated with a Class 9b building area, capable of displaying public announcements with details of capability of supplementing any public address system.
- c) Any areas requiring hearing augmentation will need to be developed and documented to satisfy BCA D3.7.


This is achievable and will occur prior to Certification stage.

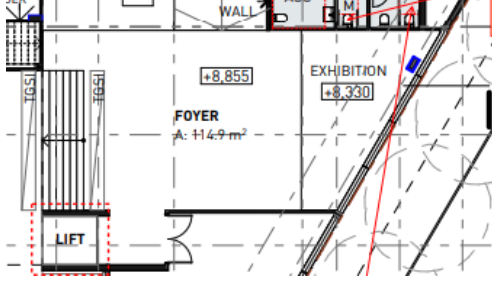
5.0 POTENTIAL PERFORMANCE SOLUTION SUMMARY LIST

The accessibility assessment of the documentation provided has identified that the following areas may require assessment against the relevant BCA performance requirements. A performance-based approach to compliance allows for innovation and variation from the prescriptive deemed-to-satisfy requirements of the BCA, whilst maintaining the principle levels of health, safety and amenity of building occupants.

Performance Solutions (also known as Alternative Solutions) are generally adopted when a nominated deemed-to-satisfy provision appears inappropriate for the design, or when a proposed design varies from the prescriptive requirements of the BCA. A Performance Solution provides a tailored solution to meet the intended objective of the Performance Requirements. Subsequently, a performance solution supported by Accessibility analysis can determine whether a proposed design that varies from prescriptive requirements, will satisfactorily meet the access performance provisions of the BCA.

Utilising the performance provisions may result in more economical and/or appropriate access building solutions to suit the specific nature/function/use requirements of the building particularly when dealing with existing buildings, however, may also require additional operational overlay and/or on-going maintenance. It is for these reasons that relevant parties, such as the building owner, building end user, insurance companies, proposed tenants, etc., are involved/aware of this decision-making process and are kept informed of any additional requirements needed to maintain the level of access and safety.

No.	DtS Non-Compliance	Potential Justification	Reference Clause	BCA Performance Requirement
1	<p>The sliding door into the shop has inadequate latch side clearance.</p> 	<p>Possible justification is as follows:</p> <ul style="list-style-type: none"> Consider automating the door to accommodate people with a disability. Door to be held open during business operational hours for ease of access for people with a disability. 	D3.1	DP1
2	<p>The foyer facing the entrance located off Laman street has a 525mm rise from the adjacent exhibition area, details as per the extract below:</p>	<p>A performance solution would be required to justify access to and though the subject foyer where the exhibition area is located via a management in use plan on an exhibition-by-exhibition basis. The following points are for consideration:</p> <ul style="list-style-type: none"> Safety in design consideration Headroom height clearance shall be 	D3.1	DP1 and DP2

No.	DtS Non-Compliance	Potential Justification	Reference Clause	BCA Performance Requirement
		2000mm at a minimum throughout the subject area in question.		